



Inspection Report

Sample

Property Address:

sample
Sample BC



Homegauge B.C. Ltd.

**Bob Langfield BPCPA Home Inspector License #48777
Box 878, 1531 2nd Ave. Fernie, BC
V0B 1M0 Phone 250-423-8829
GST #12109 2811 RT0001
WETT License #8927**

Table of Contents

- [Cover Page](#)
- [Table of Contents](#)
- [Intro Page](#)
- [General Summary](#)
- [1 General Conditions](#)
- [2 Roofing](#)
- [3 Exterior Coverings](#)
- [4 Decks and Stairs](#)
- [5 Windows and Doors](#)
- [6 Garage/Carport/Outbuildings](#)
- [7 Landscaping](#)
- [8 Attic and Roof Structure](#)
- [9 Kitchen](#)
- [10 Kitchen Components](#)
- [11 Dining Room](#)
- [12\(A\) Living Room](#)
- [12\(B\) Bonus Room](#)
- [13\(A\) Owners Bedroom](#)
- [13\(B\) Bedrooms \(upstairs\)](#)
- [14\(A\) Main Bath](#)
- [14\(B\) Half Bath](#)
- [14\(C\) Owners Bath](#)
- [14\(D\) Bonus Room Bath](#)
- [14\(E\) Upstairs Bath](#)
- [15\(A\) Main Bath Components](#)
- [15\(B\) Half Bath Components](#)
- [15\(C\) Owners Bath Components](#)
- [15\(D\) Bonus Room Bath Components](#)
- [15\(E\) Upstairs Bath Components](#)

[16\(A\) Hall \(main entry\)](#)

[16\(B\) Hall \(upstairs\)](#)

[16\(C\) Laundry Room](#)

[17 Interior Stairs](#)

[18 Electrical](#)

[19 Plumbing](#)

[20 Heating](#)

[21 Air Conditioning](#)

[22 Structural Components](#)

[23 Fireplaces or Woodstoves](#)

[Attachments](#)

Date: 2017-11-06	Time: 12:45 PM	Report ID:
Property: sample Sample BC	Customer: Sample	Real Estate Professional:

Notes:

The report contained herein is CONFIDENTIAL, and is given solely for the use and benefit of the client, and is not intended to be for the benefit of or relied upon by any other buyer, lender, title insurance company, or other third party.

Terms and conditions crucial to interpretation of the report are contained in a separate Pre-Inspection Agreement. Do not use this report without consulting the Pre-Inspection Agreement. The report conforms to the standards and practise of the Applied Science Technologists and Technicians of British Columbia Property Inspectors (ASTTBC PI). Components are identified and their apparent condition is reported. The client should consult the terms of the sales contract to determine whether any of the items contained within must be repaired by the seller prior to closing.

Reporting on other issues such as cosmetic damage and suggestions for improvements is included for your information only, and should not be relied upon as items that may or may not be repaired under the terms of your Sales Contract. If in doubt, consult your Sales Contract, Realtor and/or an attorney to explain your rights and obligations under your Sales Contract. The Inspector offers no warranties or representations as to your rights or obligations under any Sales Contract.

Comment Key or Definitions

The following definitions of comment descriptions represent the inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees or repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = The inspector visually observed the item, component or unit and if no comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = The inspector did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = The item, component or unit was not found in this home or building.

Minor Improvement (MI) = The item, component or unit needs minor repair or recommended upgrading to improve functionality or serviceability. All homes will need minor maintenance items due to normal wear and tear. These are repairs that, in the opinion of the inspector, are minor repairs to items not performing their intended functions. These include items that you might ignore if you were already living in the house. Cost to repair may range from minimal to several hundred dollars. Not all items will be discovered or recorded during an inspection and comments made are intended to inform client of minor maintenance needs that were observed.

Investigate Further (INV) = Conditions which appear to warrant further investigation by an appropriately licensed specialist are identified here. Only a specialist can confirm that repairs are needed and to determine the scope of the repairs. This includes conditions that require destructive inspection, engineering, analysis beyond the scope of a visual home inspection, or areas outside the general knowledge of a home inspector.

Repair or Replace (RR) = The item, component or unit is not functioning as intended which, in the opinion of the inspector, might cost more than \$500.00 to remedy or are **Safety Concern Conditions** which are a real or potential threat to safety or health (regardless of cost to repair). These items should be repaired immediately and prior to occupancy. Items, components or units that can be repaired to satisfactory condition may not need replacement.

Client Is Present:
Yes

Age Of Building:
New Construction

Weather:
Partly cloudy

Temperature:
Below freezing

Significant precipitation in last 3 days:
Light Snowfall

Building/unit faces (principal face or toward frontage street or at main entry):
East

Building Style:

1 1/2 storey, Single family bungalow,
attached garage

General Summary



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The following items or discoveries indicate that these systems or components do not function as intended or adversely affects the habitability of the dwelling; or appear to warrant further investigation by a specialist, or requires subsequent observation. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function, efficiency, or safety of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. General Conditions

General conditions

Investigate Further

1. Recently completed home appeared to be in overall serviceable condition with some deficiencies present which need to be corrected as noted in report. Minor drywall or paint touchups and a few minor repairs/adjustments may be needed typical of new home construction which may not be detailed in this report. Careful review of general summary, report and attachments is needed. Appliances were tested on short cycle to confirm basic function only. Some comments may be included in report/summary which are typical for pre owned homes and are intended for information purposes to advise buyer of minor finishing details needed, recommended upgrades to meet current building code standards, for long term improvements or routine maintenance recommendations.

Has access been granted for 3rd party viewing of report

Investigate Further

2. Inspection and report has been completed for the current owner to identify potential concerns, deficiencies, maintenance requirements or suggested upgrades. Report may be forwarded, at the owners discretion.

Inspection Standards

Investigate Further

3. Please review Inspections Standards which form part of the inspection contract and can also be viewed at the following internet location:

1. General Conditions

<http://asttbcpi.com/standards.php>

Home maintenance

Investigate Further

4. Please review the following website for home maintenance tips. <http://www.asttbcpi.org/cmhc-regular-maintenance.php>

2. Roofing

Roof covering

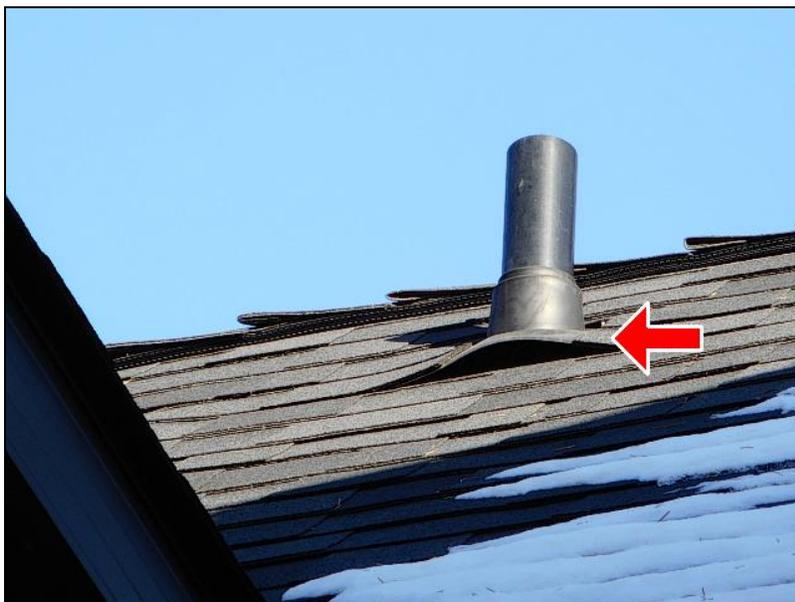
Minor Improvement

5. Snow cover obstructed view in some areas preventing proper assessment. Visible areas indicate roofing is installed well overall except a few small areas around roof penetrations need minor repair to lay roofing flat.

2. Roofing



Item 5 - Item 1(Picture)



Item 5 - Item 2(Picture)

2. Roofing



Item 5 - Item 3(Picture)

Roof drainage system

Repair or Replace

6. Overall condition of the gutters and downspouts appeared serviceable except discharge is in close proximity to foundations which is undesirable. Downspout extensions should be extended to discharge roof drainage well away from foundation to minimize potential for water accumulation at foundation and infiltration into crawlspace or living area, especially when ground is frozen and snow/ice accumulation may cause damming preventing adequate surface drainage away from home. Please review attachment at end of report.

2. Roofing



Item 6 - Item 1(Picture)



Item 6 - Item 2(Picture)

2. Roofing



Item 6 - Item 3(Picture)

3. Exterior Coverings

Exterior wall covering, trim and flashing condition

Minor Improvement

7. The exterior wall coverings, trim, flashings and caulking appeared serviceable overall except granite shelf needs to be caulked at window frame to minimize potential for moisture infiltration/deterioration behind cladding.



Item 7 - Item 1(Picture)

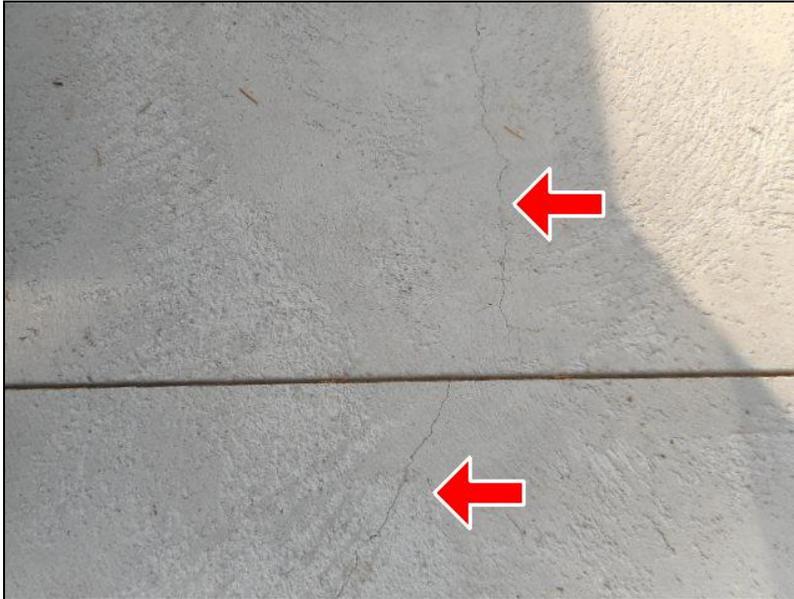
4. Decks and Stairs

Porch, patio or deck surface condition

Minor Improvement

4. Decks and Stairs

- 8. Complimentary views. The concrete patio slab appeared serviceable overall with typical minor shrinkage/settlement cracks present, which is common due to ground frost movement, but no concern was evident. This condition may progress over long term.



Item 8 - Item 1(Picture)

Stairways

Repair or Replace

- 9. The uneven stone step at rear entry is a potential hazard. Installation of a secure step meeting minimum building code standard is needed.



Item 9 - Item 1(Picture)

5. Windows and Doors

Exterior/entry doors

Minor Improvement

- 10.

5. Windows and Doors

The entry doors and hardware functioned normally and appeared serviceable except the rear entry doors swing outward which will be prone to wind catching door causing it to open out of control with potential for damage or injury. Installation of a restraining device to limit door swing is recommended (i.e. wind chain/spring at red line in picture).

Installation of long screws to embed into adjacent wood stud is needed to meet building code at deadbolt strike plates and 1 screw in each hinge for improved security and to minimize potential for door sag caused by loosening screws over time.

5. Windows and Doors

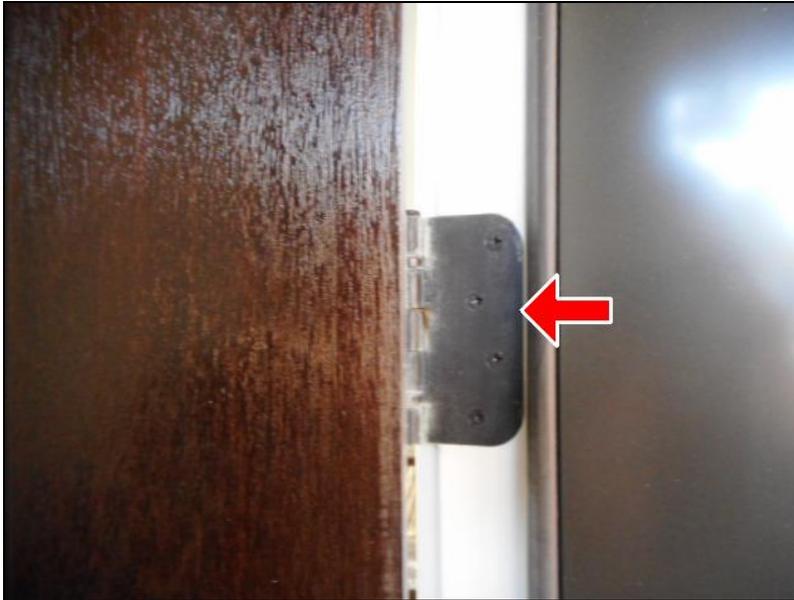


Item 10 - Item 1(Picture)



Item 10 - Item 2(Picture)

5. Windows and Doors



Item 10 - Item 3(Picture)

6. Garage/Carport/Outbuildings

Interior

Repair or Replace

11. The garage interior appeared serviceable overall except holes at previous light fixture location need to be patched/repainted and water piping penetration of ceiling needs to be sealed to comply with building code requirement for fume separation between garage and living area.

6. Garage/Carport/Outbuildings

Item 11 - Item 1(Picture)



Item 11 - Item 2(Picture)

Fire/fume/smoke separation from living space**Repair or Replace**

12. Smoke/fume separation between garage and living areas appeared serviceable overall except plumbing penetration at ceiling needs to be sealed and the door from the garage to the interior of the home requires adjustment of the spring hinges and door hardware to ensure door automatically closes and latches shut to to comply with building code requirement for fume separation between garage and living area.

6. Garage/Carport/Outbuildings

Item 12 - Item 1(Picture)



Item 12 - Item 2(Picture)

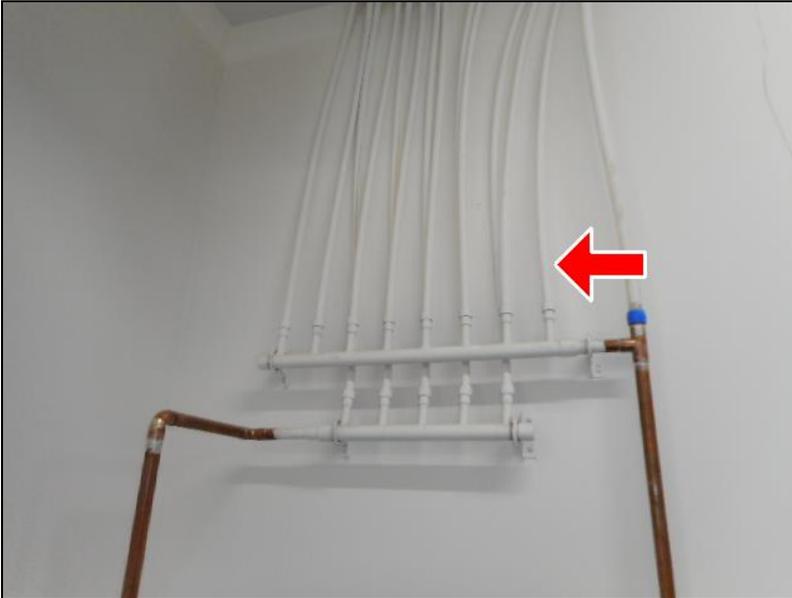
Plumbing**Minor Improvement**

13. A water heater and exposed plumbing were present. Water heater should remain on during freezing months and garage must be maintained above freezing temperature to prevent frost damage and leaks.

6. Garage/Carport/Outbuildings



Item 13 - Item 1(Picture)



Item 13 - Item 2(Picture)

7. Landscaping

Walkway(s)/Stairway(s)

Minor Improvement

14. The concrete walkways appeared serviceable overall except the wood form work needs to be removed and gravel finished at garage entry/walkway.

7. Landscaping



Item 14 - Item 1(Picture)

Clearance to grade

Repair or Replace

15. Less than the building code 6" minimum clearance from bottom of wall cladding to finished grade was observed in most areas with roof drainage discharging into areas which is potential concern for water accumulation and leaks into home. Regrading is needed in many areas to ensure adequate clearance from siding to grade to minimize potential for seasonal moisture infiltration, deterioration of cladding and/or structure and insect entry into home. This will require substantial modification/repair of the existing finished landscaping.

7. Landscaping



Item 15 - Item 1(Picture)



Item 15 - Item 2(Picture)

7. Landscaping



Item 15 - Item 3(Picture)



Item 15 - Item 4(Picture)

8. Attic and Roof Structure

Attic access

Not Present

16. Vaulted ceilings are installed directly to the roof structure. No access was available to view roof space. Inspection was limited to view of finished roof and ceiling surfaces. Attic ventilation, insulation type and R value could not be verified.

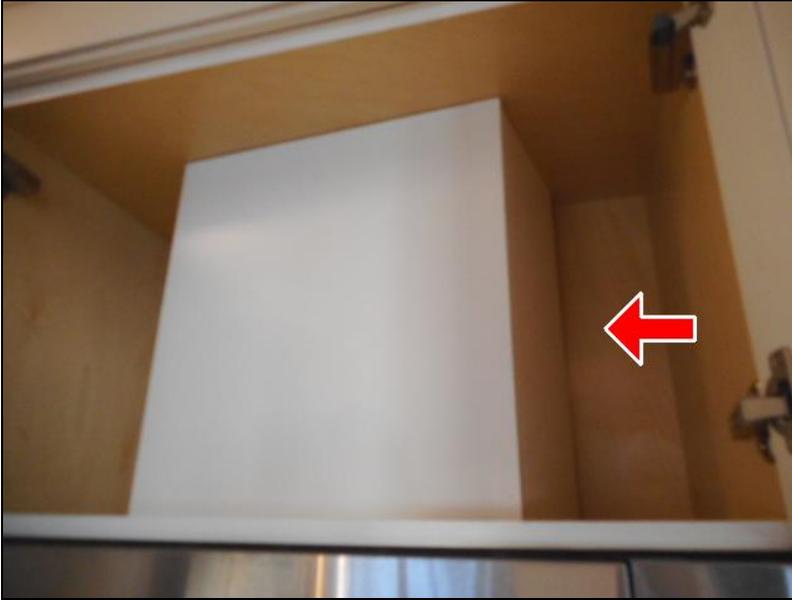
10. Kitchen Components

Cabinets

Minor Improvement

10. Kitchen Components

17. Cabinets appeared serviceable overall and doors and drawers functioned normally except the range exhaust venting enclosure was not secured in place. Minor repair/fastening needed.



Item 17 - Item 1(Picture)

Dryer power and venting**Repair or Replace**

18. Dryer power appeared serviceable and vents are ducted to exterior vent hoods but the venting in laundry room has been installed within room contrary to plan which show dryer close to wall which would require venting to be recessed in wall which is a common detail. This has forced dryer to be installed out of alignment with washer and approximately 6" forward which encroaches on limited space in this room. Correction to comply with drawings will require wall and exterior modifications and refinishing.

10. Kitchen Components

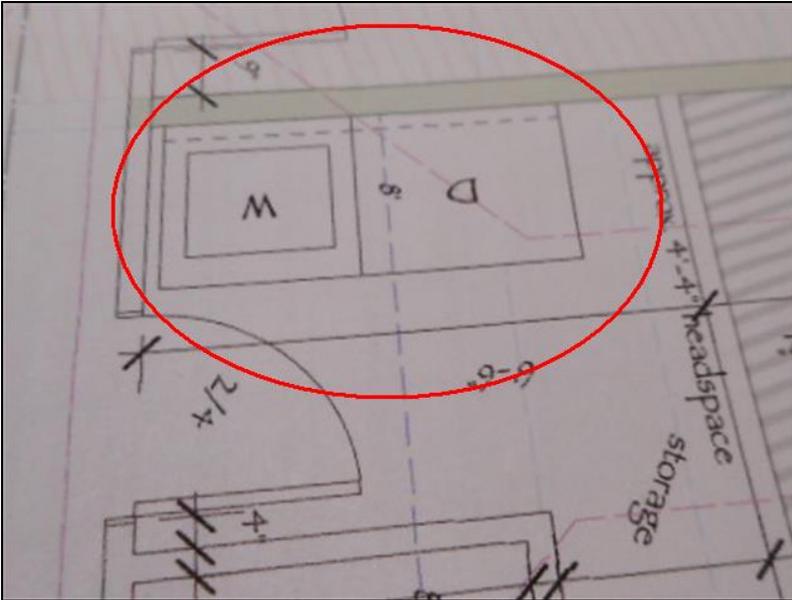


Item 18 - Item 1(Picture)



Item 18 - Item 2(Picture)

10. Kitchen Components



Item 18 - Item 3(Picture)

15(B). Half Bath Components

Toilet

Minor Improvement

19. The toilet appeared serviceable and functioned normally except it was slightly loose/wobbled at base and should be shimmed as needed and refastened securely at toilet flange. This is recommended preventive maintenance as toilet movement may eventually cause seal to leak which may cause sewer gas to vent into room, deterioration of the subfloor or damage to finished ceiling below.



Item 19 - Item 1(Picture)

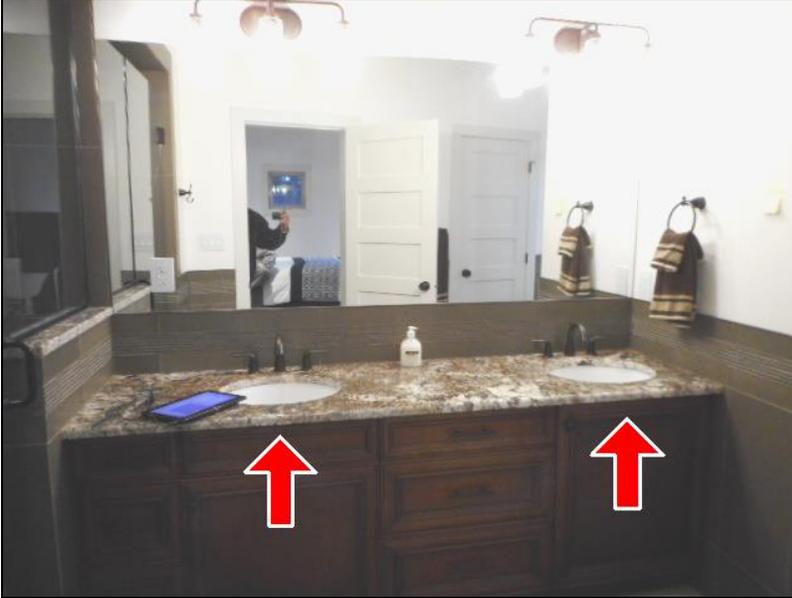
15(C). Owners Bath Components

Sink base and cabinetry

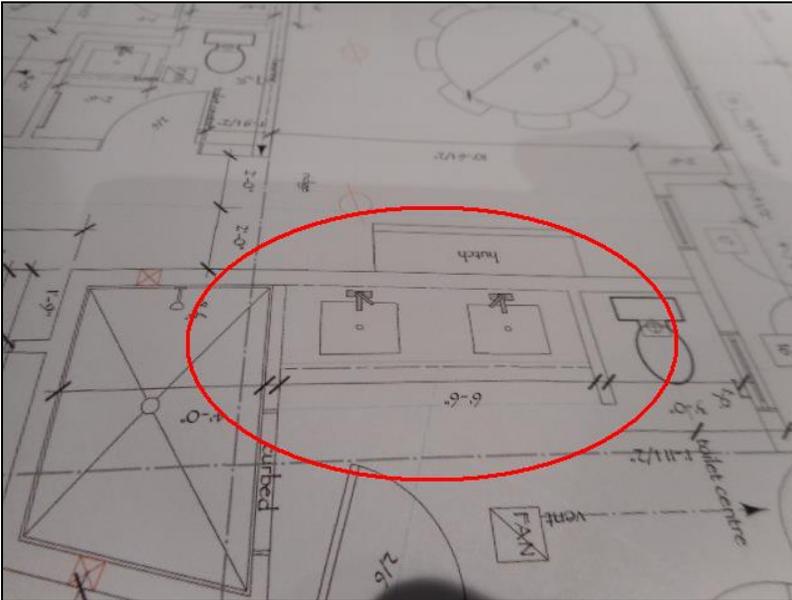
15(C). Owners Bath Components

Repair or Replace

20. Sink base and cabinetry appeared serviceable and doors/drawers functioned properly except the cabinet, sinks and light fixtures are installed substantially out of position, contrary to the building plans which clearly show a symmetrical layout. Cabinets and counter replacement, plumbing and electrical changes, drywall repairs and repainting would be required to correct this nonconforming condition.



Item 20 - Item 1(Picture)



Item 20 - Item 2(Picture)

Caulking along floor/walls at tub/shower

Minor Improvement

21. Silicone caulking along floor and inside corners at shower appeared serviceable but recommend silicone caulking around tub as minor preventative maintenance to minimize potential for spilled water migration/damage under tub and to facilitate cleaning.

15(C). Owners Bath Components

Item 21 - Item 1(Picture)

15(E). Upstairs Bath Components**Sink base and cabinetry****Minor Improvement**

22. Sink base and cabinetry appeared serviceable and doors/drawers functioned properly except conflict with door/drawers is causing wear. Attempt to adjust door was unsuccessful. Realignment and adjustment of some drawers and door and touching up small damaged area is needed.

15(E). Upstairs Bath Components

Item 22 - Item 1(Picture)



Item 22 - Item 2(Picture)

Plumbing fixtures**Repair or Replace**

23. Overall condition of the plumbing fixtures appeared serviceable except the acrylic tub has small chip which will need professional repair.

15(E). Upstairs Bath Components



Item 23 - Item 1(Picture)

19. Plumbing

Main water service and shut off valve

Inspected

24. The 1" Poly (plastic) main water service from the pump in lake appeared serviceable with no concern evident. The main water shut-off is the red lever in utility room at red arrow in picture.

Note: This valve and water pump power supply should be shut off whenever the home is vacant for any length of time to minimize damage in the event of a water leak.



Item 24 - Item 1(Picture)

Water filter/conditioner

Minor Improvement

- 25.

19. Plumbing

Sediment filters and UV sterilizer were present. No obvious concern was evident but we do not test this type of equipment. Regular filter changes will be needed.



Item 25 - Item 1(Picture)

Floor drain at water heater and laundry equipment

Minor Improvement

26. Floor drain was found adjacent to water heater but should have a drain cover installed to prevent large objects/debris entering/plugging drain.



Item 26 - Item 1(Picture)

20. Heating

Gas/propane service entry

Inspected

27. The propane service entry and storage tank appeared serviceable overall with no concern evident. Main emergency shutoff valve is at tank at red arrow in picture.

20. Heating

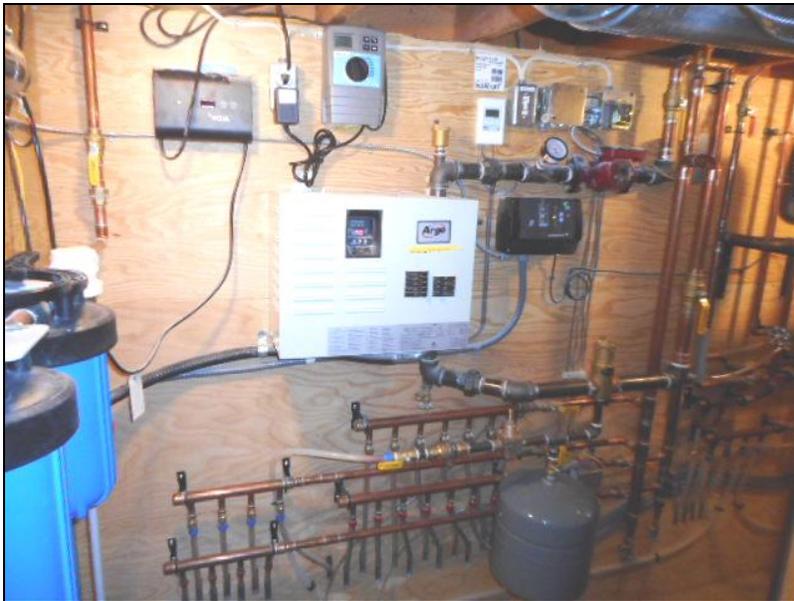


Item 27 - Item 1(Picture)

Heating equipment

Investigate Further

28. The main heating system is a circulating boiler providing heating to main domestic water heater and the hydronic in floor heating equipment system in main floor areas which is a multi zone system. System operated normally and appears in serviceable condition with no concern evident but is complex. A qualified heating contractor familiar with this system should be retained to provide familiarization and operating procedures to owner.



Item 28 - Item 1(Picture)

Relief air supply

Minor Improvement

29. An air to air heat recovery ventilator is installed which functioned normally with no concern evident but filters were dirty need to be cleaned (at red arrows in picture 2). This is normal maintenance which should be done at approximate 3 month intervals.

20. Heating



Item 29 - Item 1(Picture)



Item 29 - Item 2(Picture)

20. Heating



Item 29 - Item 3(Picture)

22. Structural Components

Foundation insulation/vapor barrier

Minor Improvement

30. Most areas were covered preventing inspection. Foundation had wood framing with vapor barrier and fiberglass insulation installed in finished areas, confirmed at several light switches or outlets chosen randomly and scan with infrared camera except small area of incomplete insulation and vapor barrier needs finishing in crawlspace area.



Item 30 - Item 1(Picture)

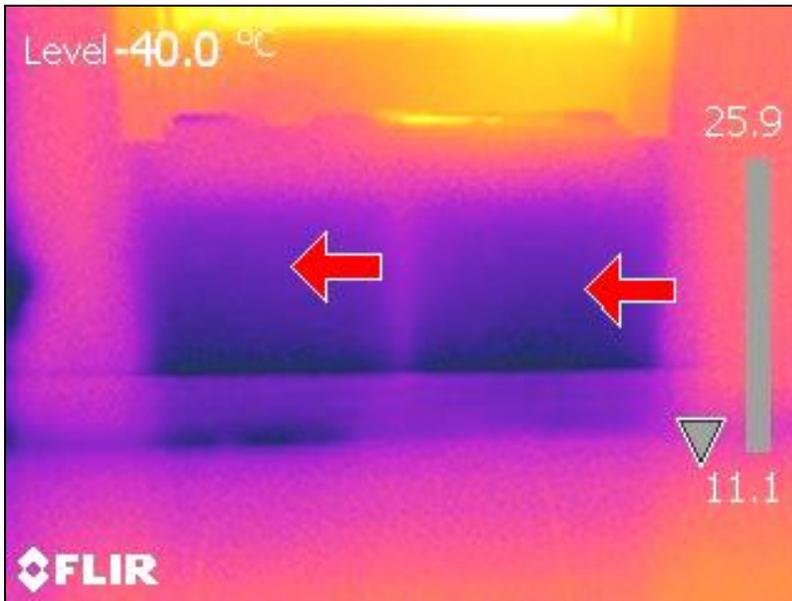
Wall structure, insulation and vapor barrier

Repair or Replace

31. All walls were covered restricting inspection. Exterior walls are 2 x 6 wood framed with vapor barrier and fiberglass insulation found by probing with wire at several light switches or outlets chosen randomly and scan with infrared camera except small area of wall below fireplace does not appear to be insulated which could result in

22. Structural Components

condensation and mold growth during cold weather. Installing insulation is needed which will require repairing drywall and repainting area.



Item 31 - Item 1(Picture)

23. Fireplaces or Woodstoves

Fireplaces/heaters gas fired or electric

Minor Improvement

32. Direct vent gas fireplace functioned normally with no concern evident except control is thermostat on wall which functioned normally with no concern evident but fireplace was supplied with remote control device which should be installed per owners preference. Soot/deposits buildup on interior of glass front indicate poor combustion. Recommend a qualified heating contractor service and adjust as required.

23. Fireplaces or Woodstoves



Item 32 - Item 1(Picture)



Item 32 - Item 2(Picture)

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since

this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Bob Langfield

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Items

1.0 General conditions

Comments: Investigate Further

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Comments: Investigate Further

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1.3 Home maintenance

Comments: Investigate Further

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2. Roofing

Styles & Materials

Viewed roof from:

Ground
Too steep to walk
Too slippery to walk

Roof type:

Gable
Pitched

Roof covering:

Laminated fiberglass reinforced asphalt shingles

Roof ventilation:

Ridge venting (continuous)
Soffit venting (continuous)

Chimney(s):

None

Skylight(s):

None

Items

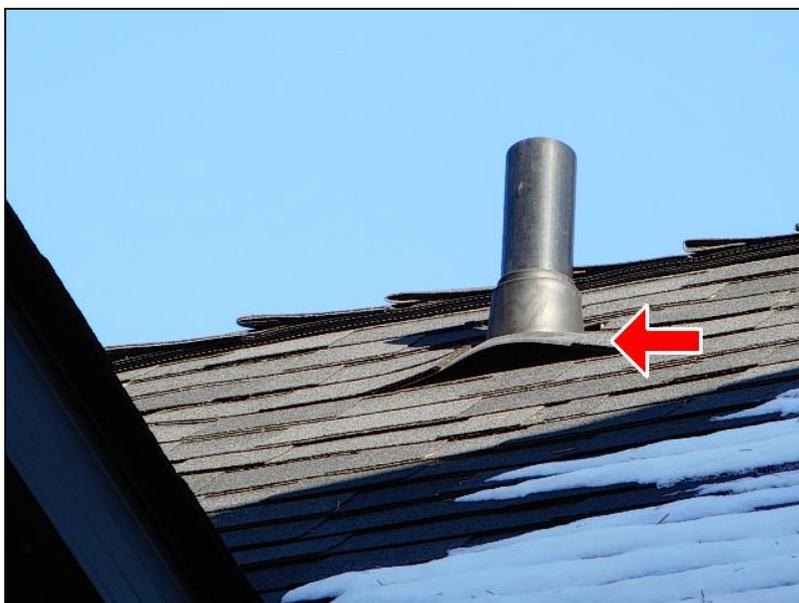
2.0 Roof covering

Comments: Minor Improvement

Snow cover obstructed view in some areas preventing proper assessment. Visible areas indicate roofing is installed well overall except a few small areas around roof penetrations need minor repair to lay roofing flat.



2.0 Item 1(Picture)



2.0 Item 2(Picture)



2.0 Item 3(Picture)

2.1 Multiple layers of roof covering

Comments: Inspected

No signs of multiple layers of roofing were visible.

2.2 Sags in roof structure

Comments: Inspected

No sags or sways of concern were observed in roof structure.

2.3 Drip edge at eaves

Comments: Inspected

Adequate overhang on roofing and metal drip edge flashing has been installed at eaves with no concern observed.

2.4 Roof flashings

Comments: Inspected

Roof flashings appeared serviceable with no concern observed.

2.5 Plumbing vent

Comments: Inspected

Adequate plumbing venting above roof was observed with no concern observed.

2.6 Roof ventilation

Comments: Inspected

Soffit and continuous ridge venting were installed which appeared to provide adequate ventilation of roof space.

2.7 Roof drainage system

Comments: Repair or Replace

Overall condition of the gutters and downspouts appeared serviceable except discharge is in close proximity to foundations which is undesirable. Downspout extensions should be extended to discharge roof drainage well away from foundation to minimize potential for water accumulation at foundation and infiltration into crawlspace or living area, especially when ground is frozen and snow/ice accumulation may cause damming preventing adequate surface drainage away from home. Please review attachment at end of report.



2.7 Item 1(Picture)



2.7 Item 2(Picture)



2.7 Item 3(Picture)

2.8 Chimney(s)

Comments: Not Present

No chimney was present.

3. Exterior Coverings

Styles & Materials

Siding style:

Horizontal lap

Siding material:

Areas of
Cement fiber siding (painted)
Stone veneer
Wood trim (painted)

Soffit material:

Areas of
Prefinished metal (vented)
Wood (painted)

Fascia material:

Prefinished metal

Items

3.0 Soffit & fascia

Comments: Inspected

Soffit and fascia appeared serviceable with no concern observed.

3.1 Exterior wall covering, trim and flashing condition

Comments: Minor Improvement

The exterior wall coverings, trim, flashings and caulking appeared serviceable overall except granite shelf needs to be caulked at window frame to minimize potential for moisture infiltration/deterioration behind cladding.



3.1 Item 1(Picture)

4. Decks and Stairs

Styles & Materials

Appurtenance:

Concrete patio

Items

4.0 Porch, patio or deck surface condition**Comments:** Minor Improvement

Complimentary views. The concrete patio slab appeared serviceable overall with typical minor shrinkage/settlement cracks present, which is common due to ground frost movement, but no concern was evident. This condition may progress over long term.



4.0 Item 1(Picture)

4.1 Guardrails**Comments:** Not Present

N/A

4.2 Deck support and structure**Comments:** NOT INSPECTED

Concrete slabs are supported on ground with no concern evident.

4.3 Stairways**Comments:** Repair or Replace

The uneven stone step at rear entry is a potential hazard. Installation of a secure step meeting minimum building code standard is needed.



4.3 Item 1(Picture)

5. Windows and Doors

Styles & Materials

Entry doors:

Wood (solid)

Patio/Deck Doors:

Various

Wood (solid frame c/w thermal glass)

Window frames:

Vinyl frames

Window types:

Various

Awning

Fixed

Single hung (vertical slider)

Sliders

Thermal insulated (dual glazed)

Items

5.0 Windows (exterior)

Comments: Inspected

Windows appeared serviceable with no concern observed.

5.1 Exterior/entry doors

Comments: Minor Improvement

The entry doors and hardware functioned normally and appeared serviceable except the rear entry doors swing outward which will be prone to wind catching door causing it to open out of control with potential for damage or injury. Installation of a restraining device to limit door swing is recommended (i.e. wind chain/spring at red line in picture).

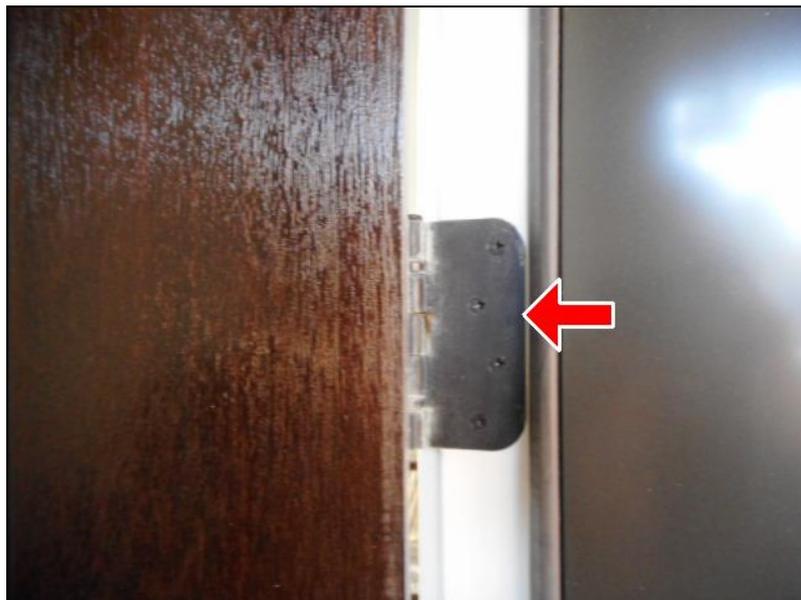
Installation of long screws to embed into adjacent wood stud is needed to meet building code at deadbolt strike plates and 1 screw in each hinge for improved security and to minimize potential for door sag caused by loosening screws over time.



5.1 Item 1(Picture)



5.1 Item 2(Picture)



5.1 Item 3(Picture)

6. Garage/Carport/Outbuildings

Styles & Materials

Opener manufacturer: Lift-Master	Garage door material: Metal (insulated)	Garage door type: Automatic (3) Overhead door Sectional
Foundation structure: Concrete foundation	Floor structure: Concrete slab on grade	Wall structure: 2 x 6 wood framed Not visible
Roof structure: Not visible Structure of living area above	Insulation (attic or ceiling structure): Not visible	Heat source: Electric heater (ceiling mount)

Items

6.0 Roof structure

Comments: NOT INSPECTED

Ceiling structure is floor structure of living space above and was covered in all areas. Inspection of finished floor and ceiling surfaces revealed no concern.

6.1 Interior

Comments: Repair or Replace

The garage interior appeared serviceable overall except holes at previous light fixture location need to be patched/repainted and water piping penetration of ceiling needs to be sealed to comply with building code requirement for fume separation between garage and living area.



6.1 Item 1(Picture)



6.1 Item 2(Picture)

6.2 Garage door(s)**Comments:** Inspected

Overhead garage doors functioned normally and appeared serviceable with no concern observed.

6.3 Garage door operator(s)**Comments:** Inspected

Automatic garage door openers functioned normally with no concern observed.

6.4 Garage door operator safety**Comments:** Inspected

Sensors are in place and will reverse the doors.

6.5 Doors and windows**Comments:** Inspected

Entry doors and windows functioned normally and appeared serviceable with no concern observed.

6.6 Support framing and foundation**Comments:** NOT INSPECTED

All wall areas were covered. Inspection of finished surfaces indicate foundation and framing are serviceable with no settlement signs or other concerns observed.

6.7 Floor slab**Comments:** Inspected

The concrete slab appeared serviceable with no concern observed.

6.8 Fire/fume/smoke separation from living space**Comments:** Repair or Replace

Smoke/fume separation between garage and living areas appeared serviceable overall except plumbing penetration at ceiling needs to be sealed and the door from the garage to the interior of the home requires adjustment of the spring hinges and door hardware to ensure door automatically closes and latches shut to to comply with building code requirement for fume separation between garage and living area.



6.8 Item 1(Picture)



6.8 Item 2(Picture)

6.9 Exposed wiring below 5'**Comments:** Inspected

No exposed wiring concern was observed.

6.10 Electrical**Comments:** Inspected

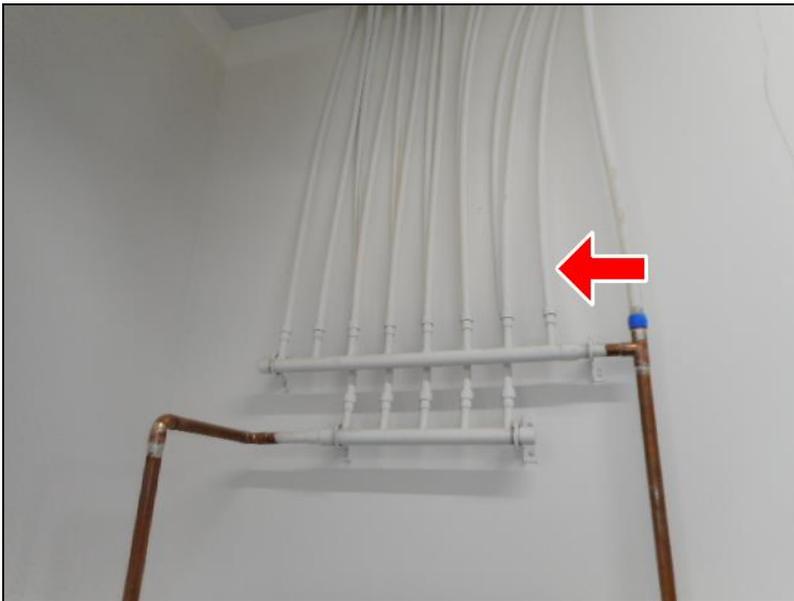
Lights, switches and outlets functioned normally and appeared serviceable with no concern observed.

6.11 Plumbing**Comments:** Minor Improvement

A water heater and exposed plumbing were present. Water heater should remain on during freezing months and garage must be maintained above freezing temperature to prevent frost damage and leaks.



6.11 Item 1(Picture)



6.11 Item 2(Picture)

6.12 Heating

Comments: Inspected

Heat source appeared adequate and serviceable with no concern observed.

6.13 Decks and stairs

Comments: Not Present

No stair was present.

6.14 Moisture damage or mold (visible signs)

Comments: Inspected

No visible signs of moisture or mold concern were observed.

7. Landscaping

Styles & Materials

Walkway:
Concrete

Driveway:
Gravel

Items

7.0 Walkway(s)/Stairway(s)

Comments: Minor Improvement

The concrete walkways appeared serviceable overall except the wood form work needs to be removed and gravel finished at garage entry/walkway.



7.0 Item 1(Picture)

7.1 Driveway

Comments: Inspected

The gravel driveway appeared serviceable with no concern observed.

7.2 Retaining wall(s)

Comments: Inspected

The drystack boulder retaining walls appeared serviceable overall with no concern observed.

7.3 Landscape grading/drainage

Comments: Repair or Replace

The landscaping is relatively flat and does not promote surface drainage away from foundation in some areas which is not desirable. Regrading is needed in some areas to ensure surface drainage is directed away from the foundation at least 5' and away from home which is important to prevent water accumulating against the foundation to minimize potential for surface water infiltration into basement. Please review attachment at the end of report.

Note: 2 capped pipes were present which appear to be drain connections to foundation perimeter drain system. Caps should be removed and surface drains installed.



7.3 Item 1(Picture)



7.3 Item 2(Picture)



7.3 Item 3(Picture)



7.3 Item 4(Picture)

7.4 Clearance to grade

Comments: Repair or Replace

Less than the building code 6" minimum clearance from bottom of wall cladding to finished grade was observed in most areas with roof drainage discharging into areas which is potential concern for water accumulation and leaks into home. Regrading is needed in many areas to ensure adequate clearance from siding to grade to minimize potential for seasonal moisture infiltration, deterioration of cladding and/or structure and insect entry into home. This will require substantial modification/repair of the existing finished landscaping.



7.4 Item 1(Picture)



7.4 Item 2(Picture)



7.4 Item 3(Picture)



7.4 Item 4(Picture)

8. Attic and Roof Structure

Styles & Materials

Attic fan:

None

House fan:

None

Attic access:

No access

Insulation:

Not visible

R- value:

Not visible

Roof structure:

Engineered I-joint Rafters
Not visible
Supported ridge

Ceiling structure:

Not visible

Items

8.0 Attic access

Comments: Not Present

Vaulted ceilings are installed directly to the roof structure. No access was available to view roof space. Inspection was limited to view of finished roof and ceiling surfaces. Attic ventilation, insulation type and R value could not be verified.

8.1 Roof and ceiling structure

Comments: NOT INSPECTED

No access was present to view roof structure. Inspection of finished roof and ceiling surfaces revealed no concerns.

8.2 Insulation and vapor barrier in attic

Comments: NOT INSPECTED

No access was available to verify insulation type and R value. Scan with infrared camera revealed no concern.

8.3 Roof sheathing

Comments: NOT INSPECTED

No access was present to view roof structure. Inspection of finished roof surfaces indicated no concerns evident.

8.4 Signs of leaks or abnormal condensation

Comments: NOT INSPECTED

No access was present to view roof structure. No visible signs of leaks or abnormal condensation were observed on interior finished surfaces.

8.5 Cross ventilation

Comments: NOT INSPECTED

No access was available to confirm adequate cross ventilation of attic.

8.6 Signs of deterioration

Comments: NOT INSPECTED

No access was available to determine if deterioration was present within roof structure.

8.7 Debris or pests in attic

Comments: NOT INSPECTED

No access was available to determine if any debris or pests were present within roof structure.

8.8 Chimney in attic

Comments: Not Present

No chimney was present in attic.

8.9 Kitchen and bathroom venting in attic

Comments: NOT INSPECTED

No access was available to view kitchen and bathroom exhaust venting. Venting to the exterior was confirmed with no concern observed.

8.10 Ventilation fan

Comments: Not Present

No roof space ventilation fan was present.

9. Kitchen

Styles & Materials

Ceiling material:

Drywall

Wall covering:

Areas of
Ceramic tile
Drywall

Floor covering:

Ceramic tile

Entry/door(s):

Open to adjacent room

Closet door(s):

Painted
Wood (solid)

Heat source:

Hydronic (hot water in floor)

Items

9.0 Ceiling

Comments: Inspected

Ceiling surfaces appeared serviceable overall with no concern observed.

9.1 Walls and trim

Comments: Inspected

Wall surfaces and trim appeared serviceable with no concerns observed.

9.2 Flooring

Comments: Inspected

Flooring appeared serviceable with no concern observed.

9.3 Doors

Comments: Inspected

Door and hardware functioned normally and appeared serviceable with no concern observed.

9.4 Pantry/closet

Comments: Inspected

Pantry closet and shelving appeared serviceable with no concern observed.

9.5 Windows

Comments: Inspected

Window and hardware functioned normally and appeared serviceable with no concern observed.

9.6 Lights, switches and outlets

Comments: Inspected

Lights, switches and outlets functioned normally and appeared serviceable with no concern observed.

9.7 Heat source

Comments: Inspected

Heat source appeared adequate and serviceable with no concern observed.

9.8 Moisture damage or mold (visible signs)

Comments: Inspected

No visible sign of current moisture/mold concern was observed.

10. Kitchen Components

Styles & Materials

Cabinetry:

Medium density fiberboard
Wood doors/drawers (fronts)
Wood trim

Countertop:

Granite

Range exhaust:

Vented
Over the range microwave

Washer drain size:

1 1/2" diameter

Dryer exhaust:

Metal duct

Dryer power:

240 volt electric

Items

10.0 Fixtures and appliances

Comments: Inspected

Fixtures and appliances appeared in serviceable condition but were not tested. Owner advised all function normally with no concern observed.

10.1 Range hood ventilation

Comments: Inspected

Range hood exhaust functioned normally and is vented to exterior vent hood with no concern evident.

10.2 Shut off valves under sink

Comments: Inspected

Shut off valves were installed on water supply lines with no concern observed.

10.3 Sink drainage and plumbing

Comments: Inspected

Sink drainage and visible plumbing appeared serviceable with no concern observed.

10.4 Faucet and sprayer

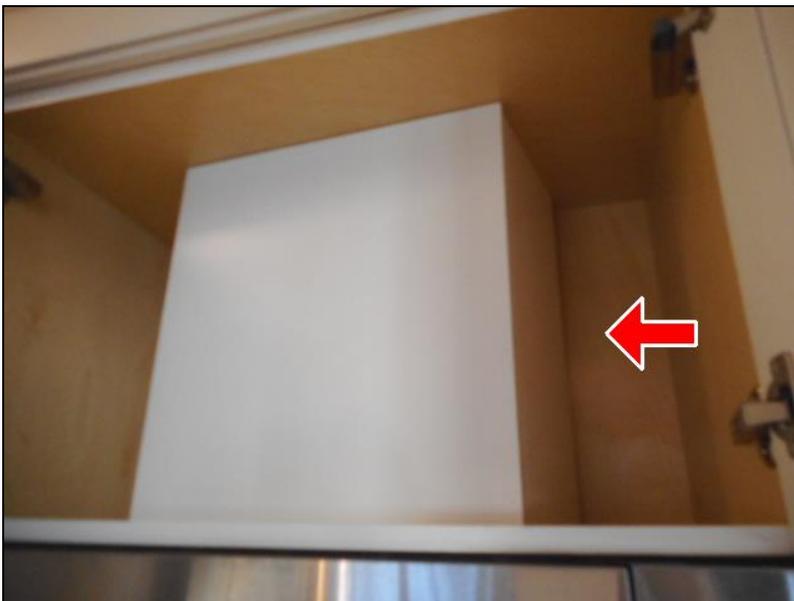
Comments: Inspected

Sink faucet and sprayer functioned normally and appeared serviceable with no concern observed.

10.5 Cabinets

Comments: Minor Improvement

Cabinets appeared serviceable overall and doors and drawers functioned normally except the range exhaust venting enclosure was not secured in place. Minor repair/fastening needed.



10.5 Item 1(Picture)

10.6 Countertop

Comments: Inspected

Countertops and caulking appeared serviceable with no concern observed.

10.7

Washer connections**Comments:** Inspected

Washer connections were accessible and appeared serviceable with no concern observed.

10.8 Dryer power and venting**Comments:** Repair or Replace

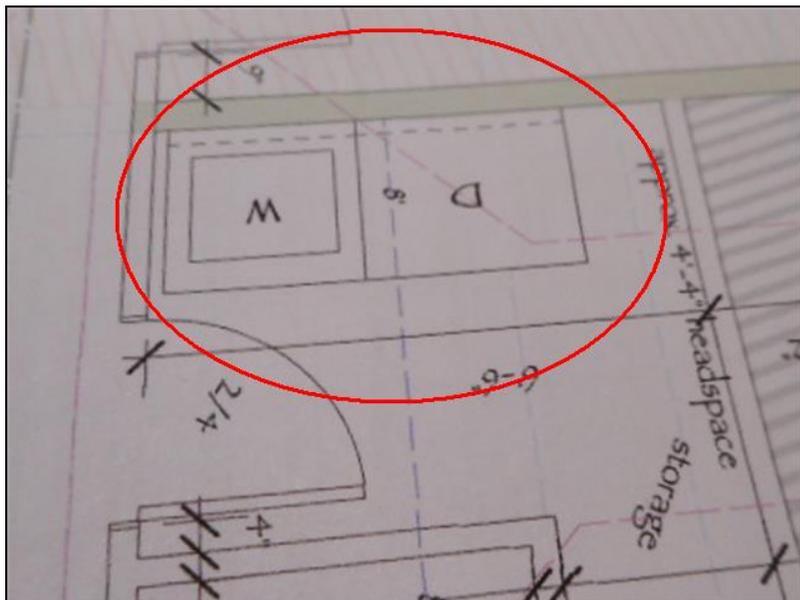
Dryer power appeared serviceable and vents are ducted to exterior vent hoods but the venting in laundry room has been installed within room contrary to plan which show dryer close to wall which would require venting to be recessed in wall which is a common detail. This has forced dryer to be installed out of alignment with washer and approximately 6" forward which encroaches on limited space in this room. Correction to comply with drawings will require wall and exterior modifications and refinishing.



10.8 Item 1(Picture)



10.8 Item 2(Picture)



10.8 Item 3(Picture)

11. Dining Room

Styles & Materials

Ceiling material:

Drywall

Wall covering:

Areas of
Drywall
Paneling

Floor covering:

Ceramic tile

Entry door(s):

Various
Open to adjacent room
Wood (solid)

Heat source:

Hydronic (in floor hot water)

Items

11.0 Ceiling

Comments: Inspected

Ceiling surfaces appeared serviceable overall with no concern observed.

11.1 Walls and trim

Comments: Inspected

Wall surfaces and trim appeared serviceable with no concern observed.

11.2 Flooring

Comments: Inspected

Flooring appeared serviceable with no concern observed.

11.3 Door(s)

Comments: Inspected

Doors and hardware functioned normally and appeared serviceable with no concern observed.

11.4 Closet

Comments: Not Present

No closet was present.

11.5 Window(s)

Comments: Inspected

Windows and hardware functioned normally and appeared serviceable with no concern observed.

11.6 Lights, switches and outlets

Comments: Inspected

Light, switch and outlets functioned normally and appeared serviceable with no concern observed.

11.7 Heat source

Comments: Inspected

Heat source appeared adequate and serviceable with no concern observed.

11.8 Moisture damage or mold (visible signs)

Comments: Inspected

No visible sign of moisture or mold concern was observed.

12(A) . Living Room

Styles & Materials

Ceiling material:

Drywall

Wall covering:

Drywall

Floor covering:

Ceramic tile

Entry/door(s):

Various

Open to adjacent room

Wood (solid frame c/w thermal glass)

Heat source:

Forced air duct/register

Items

12.0.A Ceiling**Comments:** Inspected

Ceiling surface appeared serviceable overall with no concern observed.

12.1.A Walls and trim**Comments:** Inspected

Wall surfaces and trim appeared serviceable with no concern observed.

12.2.A Flooring**Comments:** Inspected

Flooring appeared serviceable with no concern observed.

12.3.A Window(s)**Comments:** Inspected

Windows and hardware functioned normally and appeared serviceable with no concern observed.

12.4.A Door(s)**Comments:** Inspected

Doors and hardware functioned normally and appeared serviceable with no concern observed.

12.5.A Closet**Comments:** Not Present

Closet, shelf and hanger rod appeared serviceable with no concern observed.

12.6.A Lights, switches and outlets**Comments:** Inspected

Lights, fans, switches and outlets functioned normally and appeared serviceable with no concern evident.

12.7.A Heat source**Comments:** Inspected

Heat source appeared adequate and serviceable with no concern observed.

12.8.A Moisture damage or mold (visible signs)**Comments:** Inspected

No visible sign of current moisture or mold concern was observed.

12(B) . Bonus Room

Styles & Materials

Ceiling material:

Drywall

Wall covering:

Drywall

Floor covering:

Carpet

Entry/door(s):

Wood (solid)

Closet door(s):

Wood (solid)

Heat source:

Electric heater(s) (baseboard)

Items

12.0.B Ceiling**Comments:** Inspected

Ceiling surface appeared serviceable overall with no concern observed.

12.1.B Walls and trim**Comments:** Inspected

Wall surfaces and trim appeared serviceable with no concern observed.

12.2.B Flooring**Comments:** Inspected

Flooring appeared serviceable with no concern observed.

12.3.B Window(s)**Comments:** Inspected

Windows and hardware functioned normally and appeared serviceable with no concern observed.

12.4.B Door(s)**Comments:** Inspected

Doors and hardware functioned normally and appeared serviceable with no concern observed.

12.5.B Closet**Comments:** Inspected

Closet and shelving appeared serviceable with no concern observed.

12.6.B Lights, switches and outlets**Comments:** Inspected

Lights, switches and outlets functioned normally and appeared serviceable with no concern evident.

12.7.B Heat source**Comments:** Inspected

Heat source appeared adequate and serviceable with no concern observed.

12.8.B Moisture damage or mold (visible signs)**Comments:** Inspected

No visible sign of current moisture or mold concern was observed.

13(A) . Owners Bedroom

Styles & Materials

Ceiling material:

Drywall

Wall covering:

Drywall

Floor covering:

Ceramic tile

Entry door(s):

Various

Wood (solid frame with thermal glass)

Wood (solid)

Closet door(s):

Wood (solid)

Heat source:

Various

Direct vent gas fired heater

Hydronic (in floor hot water)

Items

13.0.A Ceiling**Comments:** Inspected

Ceiling surfaces appeared serviceable overall with no concern observed.

13.1.A Walls and trim**Comments:** Inspected

Wall surfaces and trim appeared serviceable with no concerns observed.

13.2.A Floor covering**Comments:** Inspected

Flooring appeared serviceable with no concern observed.

13.3.A Closets**Comments:** Inspected

Closets, shelves and hanger rods appeared serviceable with no concern observed.

13.4.A Doors**Comments:** Inspected

Doors and hardware functioned normally and appeared serviceable with no concern observed.

13.5.A Windows**Comments:** Inspected

Windows and hardware functioned normally and appeared serviceable with no concern observed.

13.6.A Lights, switches and outlets**Comments:** Inspected

Lights, switches and outlets functioned normally and appeared serviceable with no concern observed.

13.7.A Heat source**Comments:** Inspected

Heat source appeared adequate and serviceable with no concern observed.

13.8.A Moisture damage or mold (visible signs)**Comments:** Inspected

No visible sign of current moisture or mold concern was observed.

13(B) . Bedrooms (upstairs)

Styles & Materials

Ceiling material: Drywall	Wall covering: Drywall	Floor covering: Carpet
Entry door(s): Wood (solid)	Closet door(s): Various Slider (track) Wood (solid)	Heat source: Electric heater(s) (baseboard)

Items

13.0.B Ceiling**Comments:** Inspected

Ceiling surfaces appeared serviceable overall with no concern observed.

13.1.B Walls and trim**Comments:** Inspected

Wall surfaces and trim appeared serviceable with no concerns observed.

13.2.B Floor covering**Comments:** Inspected

Flooring appeared serviceable with no concern observed.

13.3.B Closets**Comments:** Inspected

Closets, shelves and hanger rods appeared serviceable with no concern observed.

13.4.B Doors**Comments:** Inspected

Doors and hardware functioned normally and appeared serviceable with no concern observed.

13.5.B Windows**Comments:** Inspected

Windows and hardware functioned normally and appeared serviceable with no concern observed.

13.6.B Lights, switches and outlets**Comments:** Inspected

Lights, switches and outlets functioned normally and appeared serviceable with no concern observed.

13.7.B Heat source**Comments:** Inspected

Heat source appeared adequate and serviceable with no concern observed.

13.8.B Moisture damage or mold (visible signs)**Comments:** Inspected

No visible sign of current moisture or mold concern was observed.

14(A) . Main Bath

Styles & Materials

Ceiling material:

Drywall

Wall covering:Areas of
Ceramic tile
Drywall**Floor covering:**

Ceramic tile

Entry door:

Wood (solid)

Heat source:

Hydronic (in floor hot water)

Items

14.0.A Ceiling**Comments:** Inspected

Ceiling surface appeared serviceable overall with no concern observed.

14.1.A Walls and trim**Comments:** Inspected

Wall surfaces and trim appeared serviceable with no concerns observed.

14.2.A Floor covering**Comments:** Inspected

Flooring appeared serviceable with no concern observed.

14.3.A Door(s)**Comments:** Inspected

Door and hardware functioned normally and appeared serviceable with no concern observed.

14.4.A Closet**Comments:** Not Present

No closet was present.

14.5.A Window(s)**Comments:** Inspected

Window and hardware functioned normally and appeared serviceable with no concern observed.

14.6.A Lights and switches**Comments:** Inspected

Lights and switches functioned normally and appeared serviceable with no concern observed.

14.7.A Bathroom outlet**Comments:** Inspected

Bathroom outlet was grounded and GFCI protected which tested functional with no concern observed.

14.8.A Heat source**Comments:** Inspected

Heat source appeared adequate and serviceable with no concern observed.

14.9.A Moisture damage or mold (visible signs)**Comments:** Inspected

No visible sign of current moisture or mold concern was observed.

14(B) . Half Bath

Styles & Materials

Ceiling material:

Drywall

Wall covering:Areas of
Ceramic tile
Drywall**Floor covering:**

Ceramic tile

Entry door:

Wood (solid)

Heat source:

Hydronic (in floor hot water)

Items

14.0.B Ceiling**Comments:** Inspected

Ceiling surface appeared serviceable overall with no concern observed.

14.1.B Walls and trim**Comments:** Inspected

Wall surfaces and trim appeared serviceable with no concerns observed.

14.2.B Floor covering**Comments:** Inspected

Flooring appeared serviceable with no concern observed.

14.3.B Door(s)**Comments:** Inspected

Door and hardware functioned normally and appeared serviceable with no concern observed.

14.4.B Closet**Comments:** Not Present

No closet was present.

14.5.B Window(s)**Comments:** Not Present

No window was present.

14.6.B Lights and switches**Comments:** Inspected

Lights and switches functioned normally and appeared serviceable with no concern observed.

14.7.B Bathroom outlet**Comments:** Inspected

Bathroom outlet was grounded and GFCI protected which tested functional with no concern observed.

14.8.B Heat source**Comments:** Inspected

Heat source appeared adequate and serviceable with no concern observed.

14.9.B Moisture damage or mold (visible signs)**Comments:** Inspected

No visible sign of current moisture or mold concern was observed.

14(C) . Owners Bath

Styles & Materials

Ceiling material:

Areas of
Ceramic tile
Drywall

Wall covering:

Areas of
Ceramic tile
Drywall

Floor covering:

Ceramic tile

Entry door:

Wood (solid)

Shower door/curtain:

Hinged glass

Closet door:

Wood (solid)

Heat source:

Hydronic (in floor hot water)

Items

14.0.C Ceiling

Comments: Inspected

Ceiling surface appeared serviceable overall with no concern observed.

14.1.C Walls and trim

Comments: Inspected

Wall surfaces and trim appeared serviceable with no concerns observed.

14.2.C Floor covering

Comments: Inspected

Flooring appeared serviceable with no concern observed.

14.3.C Door(s)

Comments: Inspected

Doors and hardware functioned normally and appeared serviceable with no concern observed.

14.4.C Closet

Comments: Inspected

Closet and shelving appeared serviceable with no concern observed.

14.5.C Window(s)

Comments: Inspected

Windows and hardware functioned normally and appeared serviceable with no concern observed.

14.6.C Lights and switches

Comments: Inspected

Lights and switches functioned normally and appeared serviceable with no concern observed.

14.7.C Bathroom outlet

Comments: Inspected

Bathroom outlet was grounded and GFCI protected which tested functional with no concern observed.

14.8.C Heat source

Comments: Inspected

Heat source appeared adequate and serviceable with no concern observed.

14.9.C Moisture damage or mold (visible signs)

Comments: Inspected

No visible sign of current moisture or mold concern was observed.

14(D) . Bonus Room Bath

Styles & Materials

Ceiling material: Areas of Ceramic tile Drywall	Wall covering: Areas of Ceramic tile Drywall	Floor covering: Ceramic tile
Entry door: Wood (solid)	Heat source: Electric heater (wall mount)	

Items

14.0.D Ceiling**Comments:** Inspected

Ceiling surface appeared serviceable overall with no concern observed.

14.1.D Walls and trim**Comments:** Inspected

Wall surfaces and trim appeared serviceable with no concerns observed.

14.2.D Floor covering**Comments:** Inspected

Flooring appeared serviceable with no concern observed.

14.3.D Door(s)**Comments:** Inspected

Door and hardware functioned normally and appeared serviceable with no concern observed.

14.4.D Closet**Comments:** Not Present

No closet was present.

14.5.D Window(s)**Comments:** Inspected

Windows and hardware functioned normally and appeared serviceable with no concern observed.

14.6.D Lights and switches**Comments:** Inspected

Lights and switches functioned normally and appeared serviceable with no concern observed.

14.7.D Bathroom outlet**Comments:** Inspected

Bathroom outlet was grounded and GFCI protected which tested functional with no concern observed.

14.8.D Heat source**Comments:** Inspected

Heat source appeared adequate and serviceable with no concern observed.

14.9.D Moisture damage or mold (visible signs)**Comments:** Inspected

No visible sign of current moisture or mold concern was observed.

14(E) . Upstairs Bath

Styles & Materials

Ceiling material:

Drywall
Paneling (painted)

Wall covering:

Areas of
Ceramic tile
Drywall

Floor covering:

Ceramic tile

Entry door:

Wood (hollow core)

Heat source:

Electric heater (wall mount)

Items

14.0.E Ceiling

Comments: Inspected

Ceiling surface appeared serviceable overall with no concern observed.

14.1.E Walls and trim

Comments: Inspected

Wall surfaces and trim appeared serviceable with no concerns observed.

14.2.E Floor covering

Comments: Inspected

Flooring appeared serviceable with no concern observed.

14.3.E Door(s)

Comments: Inspected

Door and hardware functioned normally and appeared serviceable with no concern observed.

14.4.E Closet

Comments: Not Present

No closet was present.

14.5.E Window(s)

Comments: Inspected

Windows and hardware functioned normally and appeared serviceable with no concern observed.

14.6.E Lights and switches

Comments: Inspected

Lights and switches functioned normally and appeared serviceable with no concern observed.

14.7.E Bathroom outlet

Comments: Inspected

Bathroom outlet was grounded and GFCI protected which tested functional with no concern observed.

14.8.E Heat source

Comments: Inspected

Heat source appeared adequate and serviceable with no concern observed.

14.9.E Moisture damage or mold (visible signs)

Comments: Inspected

No visible sign of current moisture or mold concern was observed.

15(A) . Main Bath Components

Styles & Materials

Exhaust fan type:

Fan only

Cabinetry:Medium density fiberboard
Wood doors/drawers (fronts)**Countertop:**

Granite

Items

15.0.A Sink base and cabinetry**Comments:** Inspected

Sink base and cabinetry appeared serviceable and doors/drawers functioned properly with no concern observed.

15.1.A Countertop**Comments:** Inspected

Countertop and caulking appeared serviceable with no concern observed.

15.2.A Plumbing fixtures**Comments:** Inspected

Plumbing fixtures appeared serviceable with no concern observed.

15.3.A Shut off valves**Comments:** Inspected

Water supply shut off valves were installed at sink and toilet and appeared serviceable with no concern observed.

15.4.A Sink drainage/plumbing**Comments:** Inspected

Sink drainage and visible plumbing appeared serviceable with no concern observed.

15.5.A Sink faucet and stop valve**Comments:** Inspected

Sink faucet and mechanical stop valve functioned normally and appeared serviceable with no concern observed.

15.6.A Toilet**Comments:** Inspected

Toilet was secure, functioned normally and appeared serviceable with no concern observed.

15.7.A Shower/tub drainage**Comments:** Inspected

Shower drainage appeared serviceable with no concern observed.

15.8.A Shower/tub faucets**Comments:** Inspected

Shower faucet and shower heads functioned normally and appeared serviceable with no concern observed.

15.9.A Caulking along floor/walls at tub/shower**Comments:** Inspected

Silicone caulking along floor and inside corners at tub/shower appeared serviceable with no concern observed.

15.10.A Exhaust fan**Comments:** Inspected

Exhaust fan functioned normally and is vented to exterior vent hood with no concern observed.

15(B) . Half Bath Components

Styles & Materials

Exhaust fan type:
Fan only

Cabinetry:
Medium density fiberboard
Wood doors

Countertop:
Granite

Items

15.0.B Sink base and cabinetry

Comments: Inspected

Sink base and cabinetry appeared serviceable and doors/drawers functioned properly with no concern observed.

15.1.B Countertop

Comments: Inspected

Countertop and caulking appeared serviceable with no concern observed.

15.2.B Plumbing fixtures

Comments: Inspected

Plumbing fixtures appeared serviceable with no concern observed.

15.3.B Shut off valves

Comments: Inspected

Water supply shut off valves were installed at sink and toilet and appeared serviceable with no concern observed.

15.4.B Sink drainage/plumbing

Comments: Inspected

Sink drainage and visible plumbing appeared serviceable with no concern observed.

15.5.B Sink faucet and stop valve

Comments: Inspected

Sink faucet and mechanical stop valve functioned normally and appeared serviceable with no concern observed.

15.6.B Toilet

Comments: Minor Improvement

The toilet appeared serviceable and functioned normally except it was slightly loose/wobbled at base and should be shimmed as needed and refastened securely at toilet flange. This is recommended preventive maintenance as toilet movement may eventually cause seal to leak which may cause sewer gas to vent into room, deterioration of the subfloor or damage to finished ceiling below.



15.6.B Item 1(Picture)

15.7.B Shower/tub drainage

Comments: Not Present

No shower or tub was present.

15.8.B Exhaust fan

Comments: Inspected

Complimentary view. Exhaust fan functioned normally and is vented to exterior vent hood with no concern observed.

15(C) . Owners Bath Components

Styles & Materials

Exhaust fan type:
Fan only

Cabinetry:
Medium density fiberboard
Wood doors/drawers (fronts)

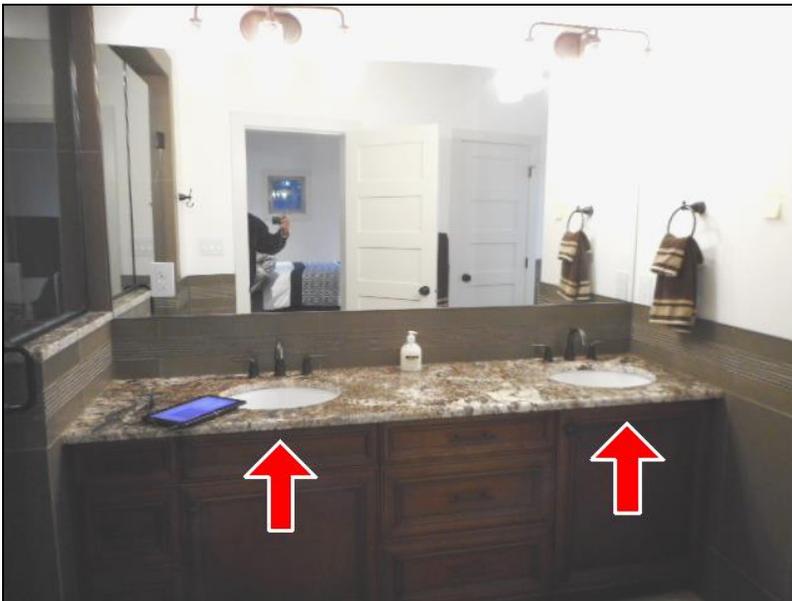
Countertop:
Granite

Items

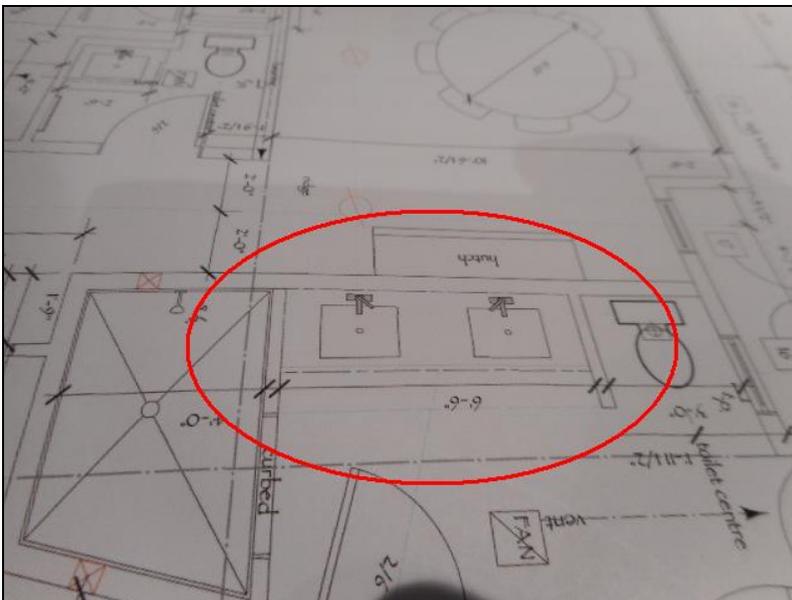
15.0.C Sink base and cabinetry

Comments: Repair or Replace

Sink base and cabinetry appeared serviceable and doors/drawers functioned properly except the cabinet, sinks and light fixtures are installed substantially out of position, contrary to the building plans which clearly show a symmetrical layout. Cabinets and counter replacement, plumbing and electrical changes, drywall repairs and repainting would be required to correct this nonconforming condition.



15.0.C Item 1(Picture)



15.0.C Item 2(Picture)

15.1.C Countertop

Comments: Inspected

Countertop and caulking appeared serviceable with no concern observed.

15.2.C Plumbing fixtures**Comments:** Inspected

Plumbing fixtures appeared serviceable with no concern observed.

15.3.C Shut off valves**Comments:** Inspected

Water supply shut off valves were installed at sink and toilet and appeared serviceable with no concern observed.

15.4.C Sink drainage/plumbing**Comments:** Inspected

Sink drainage and visible plumbing appeared serviceable with no concern observed.

15.5.C Sink faucet and stop valve**Comments:** Inspected

Sink faucets and mechanical stop valves functioned normally and appeared serviceable with no concern observed.

15.6.C Toilet**Comments:** Inspected

Toilet was secure, functioned normally and appeared serviceable with no concern observed.

15.7.C Shower/tub drainage**Comments:** Inspected

Shower and tub drainage appeared serviceable with no concern observed.

15.8.C Shower/tub faucets**Comments:** Inspected

Shower and tub faucets and shower heads functioned normally and appeared serviceable with no concern observed.

15.9.C Caulking along floor/walls at tub/shower**Comments:** Minor Improvement

Silicone caulking along floor and inside corners at shower appeared serviceable but recommend silicone caulking around tub as minor preventative maintenance to minimize potential for spilled water migration/damage under tub and to facilitate cleaning.



15.9.C Item 1(Picture)

15.10.C Exhaust fan**Comments:** Inspected

Exhaust fan functioned normally and is vented to exterior vent hood with no concern observed.

15(D) . Bonus Room Bath Components

Styles & Materials

Exhaust fan type:

Fan only

Cabinetry:Medium density fiberboard
Wood doors/drawers (fronts)**Countertop:**

Granite

Items

15.0.D Sink base and cabinetry**Comments:** Inspected

Sink base and cabinetry appeared serviceable and doors/drawers functioned properly with no concern observed.

15.1.D Countertop**Comments:** Inspected

Countertop and caulking appeared serviceable with no concern observed.

15.2.D Plumbing fixtures**Comments:** Inspected

Plumbing fixtures appeared serviceable with no concern observed.

15.3.D Shut off valves**Comments:** Inspected

Water supply shut off valves were installed at sinks and toilet and appeared serviceable with no concern observed.

15.4.D Sink drainage/plumbing**Comments:** Inspected

Sink drainage and visible plumbing appeared serviceable with no concern observed.

15.5.D Sink faucet and stop valve**Comments:** Inspected

Sink faucets and mechanical stop valves functioned normally and appeared serviceable with no concern observed.

15.6.D Toilet**Comments:** Inspected

Toilet was secure, functioned normally and appeared serviceable with no concern observed.

15.7.D Shower/tub drainage**Comments:** Inspected

Tub drainage appeared serviceable with no concern observed.

15.8.D Shower/tub faucets**Comments:** Inspected

Shower/tub faucet and shower head functioned normally and appeared serviceable with no concern observed.

15.9.D Caulking along floor/walls at tub/shower**Comments:** Inspected

Silicone caulking along floor, around tub and inside corners at tub/shower appeared serviceable with no concern observed.

15.10.D Exhaust fan**Comments:** Inspected

Exhaust fan functioned normally and is vented to exterior vent hood with no concern observed.

15(E) . Upstairs Bath Components

Styles & Materials

Exhaust fan type:
Fan only

Cabinetry:
Medium density fiberboard
Wood doors/drawers (fronts)

Countertop:
Granite

Items

15.0.E Sink base and cabinetry

Comments: Minor Improvement

Sink base and cabinetry appeared serviceable and doors/drawers functioned properly except conflict with door/drawers is causing wear. Attempt to adjust door was unsuccessful. Realignment and adjustment of some drawers and door and touching up small damaged area is needed.



15.0.E Item 1(Picture)



15.0.E Item 2(Picture)

15.1.E Countertop

Comments: Inspected

Countertop and caulking appeared serviceable with no concern observed.

15.2.E

Plumbing fixtures**Comments:** Repair or Replace

Overall condition of the plumbing fixtures appeared serviceable except the acrylic tub has small chip which will need professional repair.



15.2.E Item 1(Picture)

15.3.E Shut off valves**Comments:** Inspected

Water supply shut off valves were installed at sink and toilet and appeared serviceable with no concern observed.

15.4.E Sink drainage/plumbing**Comments:** Inspected

Sink drainage and visible plumbing appeared serviceable with no concern observed.

15.5.E Sink faucet and stop valve**Comments:** Inspected

Sink faucet and mechanical stop valve functioned normally and appeared serviceable with no concern observed.

15.6.E Toilet**Comments:** Inspected

Toilet was secure, functioned normally and appeared serviceable with no concern observed.

15.7.E Shower/tub drainage**Comments:** Inspected

Tub drainage appeared serviceable with no concern observed.

15.8.E Shower/tub faucets**Comments:** Inspected

Shower/tub faucet and shower head functioned normally and appeared serviceable with no concern observed.

15.9.E Caulking along floor/walls at tub/shower**Comments:** Inspected

Silicone caulking along floor, around tub and inside corners at tub/shower appeared serviceable with no concern observed.

15.10.E Exhaust fan**Comments:** Inspected

The exhaust fan functioned normally and is vented to exterior vent hood with no concern observed.

16(A) . Hall (main entry)

Styles & Materials

Ceiling covering:

Drywall

Wall covering:

Drywall

Floor covering:

Ceramic tile

Entry/door(s):

Various

Open to adjacent room

Wood (solid with thermal glass)

Wood (solid)

Closet door(s):

Wood (solid)

Heat source:

Hydronic (in floor hot water)

Items

16.0.A Ceiling**Comments:** Inspected

Ceiling surface appeared serviceable overall with no concern observed.

16.1.A Walls and trim**Comments:** Inspected

Wall surfaces and trim appeared serviceable with no concern observed.

16.2.A Floor covering**Comments:** Inspected

Flooring appeared serviceable with no concern observed.

16.3.A Door(s)**Comments:** Inspected

Doors and hardware functioned normally and appeared serviceable with no concern observed.

16.4.A Closet**Comments:** Inspected

Closet, shelves, hanger rods, benches and coat hooks appeared serviceable with no concern observed.

16.5.A Window(s)**Comments:** Inspected

Window appeared serviceable with no concern observed.

16.6.A Lights, switches and outlets**Comments:** Inspected

Lights, switches and outlets functioned normally and appeared serviceable with no concern observed.

16.7.A Heat source**Comments:** Inspected

Heat source appeared adequate and serviceable with no concern observed.

16.8.A Moisture damage or mold (visible signs)**Comments:** Inspected

No visible sign of current moisture or mold concern was observed.

16(B) . Hall (upstairs)

Styles & Materials

Ceiling covering:

Drywall

Wall covering:

Drywall

Floor covering:

Wood

Entry/door(s):

Various

Open to adjacent room

Wood (solid)

Closet door(s):

Wood (solid)

Heat source:

Electric heater(s) (baseboard)

Items

16.0.B Ceiling**Comments:** Inspected

Ceiling surface appeared serviceable overall with no concern observed.

16.1.B Walls and trim**Comments:** Inspected

Wall surfaces and trim appeared serviceable with no concern observed.

16.2.B Floor covering**Comments:** Inspected

Flooring appeared serviceable with no concern observed.

16.3.B Door(s)**Comments:** Inspected

Doors and hardware functioned normally and appeared serviceable with no concern observed.

16.4.B Closet**Comments:** Inspected

Closet and shelves appeared serviceable with no concern observed.

16.5.B Window(s)**Comments:** Inspected**16.6.B Lights, switches and outlets****Comments:** Inspected

Lights, switches and outlets functioned normally and appeared serviceable with no concern observed.

16.7.B Heat source**Comments:** Inspected

Heat source appeared adequate and serviceable with no concern observed.

16.8.B Moisture damage or mold (visible signs)**Comments:** Inspected

No visible sign of current moisture or mold concern was observed.

16(C) . Laundry Room

Styles & Materials

Ceiling covering:

Drywall

Wall covering:

Drywall

Floor covering:

Ceramic tile

Entry/door(s):

Wood (solid)

Closet door(s):

Open doorway

Heat source:

Electric heater(s) (baseboard)

Items

16.0.C Ceiling**Comments:** Inspected

Ceiling surface appeared serviceable overall with no concern observed.

16.1.C Walls and trim**Comments:** Inspected

Wall surfaces and trim appeared serviceable with no concern observed.

16.2.C Floor covering**Comments:** Inspected

Flooring appeared serviceable with no concern observed.

16.3.C Door(s)**Comments:** Inspected

Door and hardware functioned normally and appeared serviceable with no concern observed.

16.4.C Closet**Comments:** Inspected

Open closet and shelves appeared serviceable with no concern observed.

16.5.C Window(s)**Comments:** Not Present

No window was present.

16.6.C Lights, switches and outlets**Comments:** Inspected

Light, switch and outlets functioned normally and appeared serviceable with no concern observed.

16.7.C Heat source**Comments:** Inspected

Heat source appeared adequate and serviceable with no concern observed.

16.8.C Moisture damage or mold (visible signs)**Comments:** Inspected

No visible sign of current moisture or mold concern was observed.

17. Interior Stairs

Styles & Materials

Stair finish:

Areas of
Ceramic tile
Wood

Items

17.0 Steps, stairways, balconies and railings**Comments:** Inspected

The stairways appeared serviceable with no concern observed.

17.1 Treads and risers**Comments:** Inspected

Riser height and tread width appeared serviceable overall with no concern observed.

17.2 Guardrails/handrails secure**Comments:** Inspected

Guardrails/handrails appeared secure and serviceable with no concern observed.

17.3 Pickets**Comments:** Inspected

The guardrail picket spacing appeared serviceable with no concern observed.

17.4 Headroom**Comments:** Inspected

Headroom was greater than minimum 76 3/4" minimum height standard with no concern observed.

17.5 Lights and switches at stairs**Comments:** Inspected

Lights and 3 way switching from top and bottom of stairways functioned normally and appeared serviceable with no concern observed.

18. Electrical

Styles & Materials

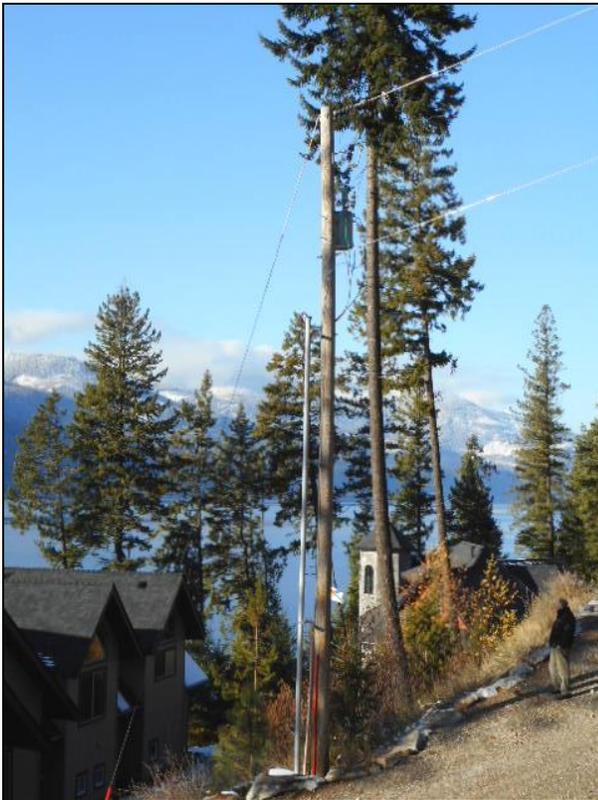
Electrical conductors: Above ground to power pole on property Below ground	Service volts/amperage: 120/240 volt 200 amp	Panel type: Circuit breakers
Panel manufacturer: Square D	Subpanel volts/amps: 120/240 volt 2 subpanels 50 amp 100 amp	Subpanel type: Circuit breakers
Subpanel manufacturer: Square D	Branch circuit wiring methods: Visible areas Modern (grounded) Non metallic sheathed cable	120 volt branch circuit wiring material: Visible areas Copper

Items

18.0 Electric service entry

Comments: Inspected

Complimentary view of electrical service entry which appeared serviceable overall with no concern observed.



18.0 Item 1(Picture)



18.0 Item 2(Picture)

18.1 Service and grounding equipment, main overcurrent device, main and distribution panels

Comments: Inspected

The 200 amp main and 50 amp sub electrical distribution panels in utility room and 100 amp sub panel in garage which appeared serviceable with no external concern observed.

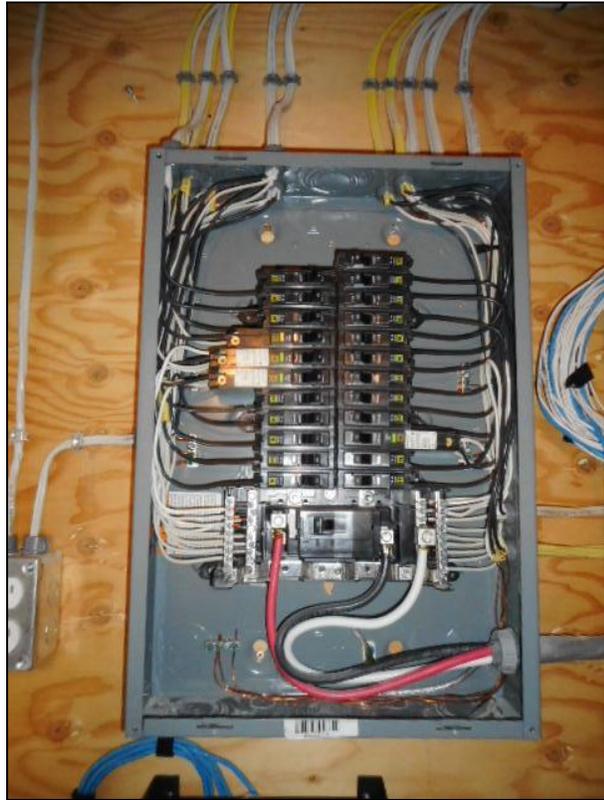
18.2 Wiring, circuits or fuses inside distribution panel(s) (branch circuit conductors, over-current devices, and compatibility of their amperage and voltage)

Comments: Inspected

Complimentary view of wiring inside distribution panels which appeared serviceable and original with no sign of alterations or additions. No concern was observed.



18.2 Item 1(Picture)



18.2 Item 2(Picture)



18.2 Item 3(Picture)

18.3 System grounding and bonding

Comments: Inspected

System grounding appeared serviceable, plastic plumbing present does not require a bond wire.

18.4 Circuits or fuses labeled

Comments: Inspected

All circuits appear to be identified with no concern observed.

18.5 Circuit breakers or fuses compatible with panel(s)

Comments: Inspected

Circuit breakers appeared compatible with distribution panel with no concern observed.

18.6 Location of main and distribution panels

Comments: Inspected

Electrical distribution panels were accessible with no concern observed.

18.7 Permanently connected electrical devices

Comments: Inspected

Connected devices, fixtures, loose wiring, operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls (observed from a representative number) appeared serviceable with no concern observed.

18.8 Smoke/carbon monoxide alarms

Comments: Inspected

Smoke alarms were present where required, interconnected on 120 volt circuit and tested OK with no concern observed.

18.9 Polarity and grounding of receptacles

Comments: Inspected

Outlets which were accessible for testing and all within 6' of faucets were grounded and had correct polarity with no concern observed.

18.10 GFCI (ground fault circuit interrupters) outlets

Comments: Inspected

GFCI protection tested serviceable in areas required.

18.11 Arc fault circuit interrupters on bedroom circuits

Comments: Inspected

Arc fault circuit breaker protection on bedroom circuits tested serviceable with no concern observed.

18.12 Hot tub operational and GFCI protected

Comments: Inspected

Complimentary view. Hot tub functioned normally on basic/brief test and appeared serviceable with no concern observed. Electrical supply is protected by GFCI breaker (which tested OK) in main electric distribution panel.

18.13 Exterior electrical

Comments: Inspected

The exterior electrical appeared serviceable overall and the outlet was protected by GFCI breaker in main electrical distribution panel.

19. Plumbing

Styles & Materials

Water source:

Lake

Water supply piping:
1"
POLY (plastic)
Water distribution piping:

PEX (plastic)

Waste service line:
Public Utility
4" ABS plastic
Waste system piping:

ABS (plastic)

Water filters:
Sediment filter(s)
Ultra violet U/V sterilizer
Water heater manufacturer:
2 water heaters
John Wood
Water heater capacity:
2 water heaters
182 Liters
284 Liters
Water heater age:
Approximate
1 year
Water heater power source:
Various
Circulating boiler
Electric

Items

19.0 Main water service and shut off valve

Comments: Inspected

The 1" Poly (plastic) main water service from the pump in lake appeared serviceable with no concern evident. The main water shut-off is the red lever in utility room at red arrow in picture.

Note: This valve and water pump power supply should be shut off whenever the home is vacant for any length of time to minimize damage in the event of a water leak.



19.0 Item 1(Picture)

19.1 Water distribution system

Comments: Inspected

Water distribution system functioned normally with no concern observed.

19.2 Leaks or cross connections on plumbing system

Comments: Inspected

No leaks or cross connections were observed on plumbing system.

19.3 Functional flow (water pressure and volume)

Comments: Inspected

Water pressure and flow appeared serviceable with no concern evident.

19.4 Pressure regulating valve installed

Comments: Inspected

Water pressure is controlled by the water pump controls which functioned normally.

19.5 Main waste service

Comments: Inspected

Complimentary view of 4" ABS plastic main waste line and cleanout in crawlspace to allow plumber access to clear waste line with no concern observed.



19.5 Item 1(Picture)

19.6 Drain, waste and vent system (interior)

Comments: Inspected

ABS plastic drain pipe was installed in visible areas. Drainage and venting functioned normally and appeared serviceable with no concern observed.

19.7 Water heater

Comments: Inspected

Water heater in utility room functioned normally with no concern observed.

19.8 Water heater #2

Comments: Inspected

Water heater in garage functioned normally with no concern evident.

19.9 Water heater wiring

Comments: Inspected

Water heater wiring and connections at garage appeared serviceable overall with no concern observed.

19.10 T & P (temperature and pressure) valve

Comments: Inspected

T&P (Temperature and Pressure) safety valves were present and piping extends to within 6 inches of floor for safety reasons with no concern observed.

19.11 Water filter/conditioner

Comments: Minor Improvement

Sediment filters and UV sterilizer were present. No obvious concern was evident but we do not test this type of equipment. Regular filter changes will be needed.



19.11 Item 1(Picture)

19.12 Sump/pump

Comments: Not Present

No sump pump was found.

19.13 Floor drain at water heater and laundry equipment

Comments: Minor Improvement

Floor drain was found adjacent to water heater but should have a drain cover installed to prevent large objects/debris entering/plugging drain.



19.13 Item 1(Picture)

19.14 Lawn faucets (exterior)

Comments: Inspected

The frost free faucet installed which was adequately secured and functioned normally with no concern evident.

20. Heating

Styles & Materials

Number of heat systems: Three	Fuel source: Electric Propane	Heat type: Direct vent gas fired fireplace/heater Electric heater(s) (baseboard) Hydronic in floor
Heat system manufacturer: Main boiler Argo	BTU input: Main boiler 16 KW (57600 BTU)	Furnace age: Main Boiler Approximate 1 year
Boiler piping: Non insulated	Ductwork: N/A	

Items

20.0 Gas/propane service entry

Comments: Inspected

The propane service entry and storage tank appeared serviceable overall with no concern evident. Main emergency shutoff valve is at tank at red arrow in picture.



20.0 Item 1(Picture)

20.1 Oil storage tank

Comments: Not Present

No evidence of an oil storage tank was observed.

20.2 Humidifier

Comments: Not Present

No humidifier was present.

20.3 Thermostat

Comments: Inspected

Thermostats functioned normally with no concern observed.

20.4 Heating equipment

Comments: Investigate Further

The main heating system is a circulating boiler providing heating to main domestic water heater and the hydronic in floor heating equipment system in main floor areas which is a multi zone system. System operated normally and appears in serviceable condition with no concern evident but is complex. A qualified heating contractor familiar with this system should be retained to provide familiarization and operating procedures to owner.



20.4 Item 1(Picture)

20.5 Heating equipment (2)

Comments: Inspected

Electric baseboard heaters were installed in upstairs rooms and garage which functioned normally with no concern observed.

20.6 Heating equipment (3)

Comments: Inspected

Review comments in Fireplaces or Woodstoves section

20.7 Normal operating controls

Comments: Inspected

Normal operating controls appeared serviceable with no concern observed.

20.8 Relief air supply

Comments: Minor Improvement

An air to air heat recovery ventilator is installed which functioned normally with no concern evident but filters were dirty need to be cleaned (at red arrows in picture 2). This is normal maintenance which should be done at approximate 3 month intervals.



20.8 Item 1(Picture)



20.8 Item 2(Picture)



20.8 Item 3(Picture)

20.9 Fuel storage and distribution system (interior fuel storage, piping, venting, supports, leaks)

Comments: Inspected

Fuel distribution system to fireplace and outdoor cooking equipment appeared serviceable in visible areas with no concern observed.

20.10 Heat source in each room

Comments: Inspected

Adequate heat source was observed in all rooms.

20.11 Heating system adequacy

Comments: Inspected

Heating systems appeared adequate to heat home with no concern observed.

20.12 Clearance to combustibles

Comments: Inspected

Clearance to combustibles appeared serviceable overall in visible areas with no concern evident.

21. Air Conditioning

Styles & Materials

Number of permanent A/C units:
None

Items

21.0 Cooling and air handling equipment

Comments: Not Present

No permanently installed air conditioning equipment was present.

22. Structural Components

Styles & Materials

Method used to observed crawlspace:

Crawled
Light in crawlspace

Foundation:

Areas of
Concrete foundation
ICF (insulated concrete foundation system)
Not visible

Floor structure:

Areas of
Engineered I-joint
Not visible
Plywood sheathing

Wall structure (exterior):

2 X 6 wood framed
Not visible

Items

22.0 Foundation (exterior)

Comments: Inspected

The visible areas of the concrete foundation appeared serviceable with no concern was observed.

An "ICF" insulated concrete form system is installed in some areas with metal sheeting covering all areas above ground. Inspection of finished wall cladding revealed no concern.

22.1 Foundation (interior)

Comments: NOT INSPECTED

All of the foundation was covered on the interior preventing view of foundation from the interior.

22.2 Floor structure

Comments: NOT INSPECTED

The floor structures were covered in most areas. Inspection was limited to view at accessible area and finished floor and ceiling surfaces which indicate no concern evident.

22.3 Girders, columns, piers and supports (interior)

Comments: NOT INSPECTED

The visible posts supporting the roof ridge beam appeared serviceable with no concern observed.

22.4 Girders, columns, piers and supports (2)

Comments: Inspected

The exterior wood post and beam structure appeared serviceable overall with slight cracks and small area of sap weeping which is common during first few years after installation. No concern was observed and sap beads can be wiped off easily after it has been allowed to dry thoroughly.

22.5 Basement/crawlspace floor slab

Comments: NOT INSPECTED

Most areas were covered preventing inspection of concrete slab. View of finished surfaces and visible areas indicate no concern was evident.

22.6 Areas of basement/crawlspace or other areas inaccessible

Comments: NOT INSPECTED

All of the foundation walls in finished basement were covered. No obvious problems discovered but it is possible that moisture infiltration concerns can sometimes be hidden inside exterior walls below exterior grade level with no visible signs and which can only be determined by further intrusive investigation. Exterior grading to ensure surface water drains away from foundation and maintenance of a serviceable roof drainage system to discharge water well away from foundations is important to minimize potential for moisture infiltration.

22.7 Foundation insulation/vapor barrier

Comments: Minor Improvement

Most areas were covered preventing inspection. Foundation had wood framing with vapor barrier and fiberglass insulation installed in finished areas, confirmed at several light switches or outlets chosen randomly and scan with infrared camera except small area of incomplete insulation and vapor barrier needs finishing in crawlspace area.



22.7 Item 1(Picture)

22.8 Wall structure, insulation and vapor barrier**Comments:** Repair or Replace

All walls were covered restricting inspection. Exterior walls are 2 x 6 wood framed with vapor barrier and fiberglass insulation found by probing with wire at several light switches or outlets chosen randomly and scan with infrared camera except small area of wall below fireplace does not appear to be insulated which could result in condensation and mold growth during cold weather. Installing insulation is needed which will require repairing drywall and repainting area.



22.8 Item 1(Picture)

22.9 Roof structure**Comments:** NOT INSPECTED

No access was available to view roof structure. Inspection of the finished roof and ceiling surfaces and scan with infrared camera indicate no concern was evident.

22.10 Moisture concerns (water intrusion from exterior, damage from leaks or visible mold)**Comments:** Inspected

No visible signs of water intrusion from the exterior were found. All exterior walls were covered preventing view of foundation. Possible slight water infiltration can sometimes occur without showing signs on finished visible areas.

23. Fireplaces or Woodstoves

Styles & Materials

Gas/Electric Fireplaces:

Direct vent gas fired fireplace/heater

Items

23.0 Fireplaces/heaters gas fired or electric

Comments: Minor Improvement

Direct vent gas fireplace functioned normally with no concern evident except control is thermostat on wall which functioned normally with no concern evident but fireplace was supplied with remote control device which should be installed per owners preference. Soot/deposits buildup on interior of glass front indicate poor combustion. Recommend a qualified heating contractor service and adjust as required.



23.0 Item 1(Picture)



23.0 Item 2(Picture)

23.1 Exhaust vent and combustion air supply

Comments: Inspected

Combination exhaust and combustion air supply direct vent was installed which appeared serviceable with no concern observed.

23.2 Clearance to combustibles**Comments:** Inspected

Clearance to combustibles in visible areas met or exceeded minimum manufacturers requirements per attached information label on woodstove with no concern observed.

23.3 Firebox and door seals**Comments:** Inspected

Firebox and door seal appeared serviceable with no concern observed.

23.4 Chimney/liner/flue**Comments:** NOT INSPECTED

Direct vent piping was not visible preventing full assessment. No visible concerns were observed.

23.5 Combustion air supply**Comments:** Inspected

A direct vent combination combustion air/exhaust vent is installed. No concern was observed.



Industrial Civil Installations Ltd.

Box 878, 1531 2nd Ave. Fernie, BC

V0B 1M0 Phone 250-423-8829

GST #12109 2811 RT0001

WETT License #8927

Report Attachments

ATTENTION: This inspection report is incomplete without reading the information included herein at these links/attachments. Note If you received a printed version of this page and did not receive a copy of the report through the internet please contact your inspector for a printed copy of the attachments.

[Roof drainage and site grading](#)